

A-6115

Variance Request

To construct a guest house in the same location as the existing garage, which encroaches six feet, five and seven-eighths inches ($6'-5\frac{7}{8}"$) into the nine foot, two and one-quarter inch ($9'-2\frac{1}{4}"$) rear (south) accessory building setback. The rear (south) wall measures twenty-eight feet two and one-quarter inches ($28'-2\frac{1}{4}"$) in length.

Mr. & Mrs. W. Reid Thompson
14 West Kirke Street

14 West Kirke Street



Figure 1: View of 14 West Kirke Street. The subject garage is to the west (right) side.



Figure 2: View of the detached garage at 14 West Kirke Street. The proposed guest house would be built in the same location and be the same height.

**CHEVY CHASE VILLAGE
BOARD OF MANAGERS
MAY 14, 2012 MEETING**

STAFF REPORT

TO: BOARD OF MANAGERS

FROM: ELLEN SANDS, PERMITTING AND CODE ENFORCEMENT COORDINATOR

DATE: 5/10/2012

SUBJECT: HEARING OF APPEAL CASE NO. A-6115 VARIANCE REQUEST
MR. & MRS. W. REID THOMPSON, 14 WEST KIRKE STREET
TO CONSTRUCT A GUEST HOUSE IN THE SAME LOCATION AS THE EXISTING GARAGE,
WHICH ENCROACHES SIX FEET, FIVE AND SEVEN-EIGHTHS INCHES (6'-5 7/8") INTO THE NINE
FOOT, TWO AND ONE-QUARTER INCH (9'-2 1/4") REAR (SOUTH) ACCESSORY BUILDING
SETBACK. THE REAR (SOUTH) WALL MEASURES TWENTY-EIGHT FEET TWO AND ONE-
QUARTER INCHES (28'-2 1/4") IN LENGTH.

NOTICE REQUIREMENTS: Abutting Owners; Public Notice

Applicable Chevy Chase Building Regulation:

The Chevy Chase Village Code § 8-21(b) states:

Any detached garage or other accessory building shall be located at least five (5) feet from any rear or side lot line or alley line.

additionally,

The Chevy Chase Village Code § 8-21(c) states:

For any detached garage or other accessory building with a length along a rear or side lot line which has a linear dimension greater than twenty-four (24) feet, the minimum setback from that rear or side lot line shall be increased from the requirement in subsection (b) above at a ratio of one (1) foot for every one (1) foot that the dimension exceeds twenty four (24) linear feet.

FINDINGS REQUIRED:

1. The proposed variance is required because special conditions exist whereby the enforcement of the requirements of the Village Building Code would result in an unwarranted hardship and injustice to the owner.
2. The proposed variance will most nearly accomplish the intent and purpose of the requirements of the Village Building Code; and
3. Except for variances from the requirements of Sections 8-22, 8-26 or Article IV of the Village Regulations, the structure authorized by the proposed variance would not violate any covenant applicable to the property.

APPLICABLE COVENANTS:

The covenants applicable to the Subject Property do not stipulate a rear setback requirement.

FACTUAL AND BACKGROUND INFORMATION:

This request was withdrawn from the April 9, 2012 agenda when it was determined that the full kitchen and bathroom initially included in the guest house plan might constitute a violation of Section 8-17(e) of the Village Code, which prohibits construction of a second dwelling on the property. Mr. Thompson addressed the removal of the food preparation facilities in a letter (included in this application) and submitted amended plans (also included) that no longer include food preparation facilities.

The property is considered an Outstanding Resource by the Historic Preservation Commission (HPC). The detached garage, because it does not share a wall with the main house, is subject to "moderate scrutiny".

The Applicants request the variance so that they may replicate the portions of the garage that would be demolished if Case A-6114 is approved. The location of the rear wall and soffit is not changing from the existing.

The existing rear yard setback is two feet, eight and three-eighths inches (2'-8 ³/₈").

The length of the rear (south) wall of the garage is twenty eight and two-tenths (28.2) feet. Because more than 50% of the garage is proposed to be removed, the guest house would be considered "new" construction and the setback must be increased from five (5) feet to nine feet, two and one-quarter inches (9'-2 ¹/₄") to satisfy Sec. 8-21(c). The total requested encroachment, therefore, is six feet, five and seven-eighths inches (6'-5 ⁷/₈").

In 2008 the setbacks for garages and accessory buildings were revised:

- the rear yard setback for garages and accessory buildings (Sec. 8-21(b)) was changed from two (2) feet to five (5) feet; and
- the provision requiring the increase in the setback if the length of a garage or accessory building exceeds twenty-four (24) feet (Sec. 8-21(c)) was added.

Hence the existing garage was compliant with Village regulations prior to 2008.

There are no tree removals requested. The arborist has determined that a tree protection plan would be required.

To date there have been no letters received from abutting or confronting neighbors regarding the project.

Applicable Fees: Building Permit: (detached garage): \$400; Special Permit (for demolition of more than 50% of the accessory building): \$300; Variance Application Fee (to replace an existing non-conformity): \$150.00. TOTAL: \$850.00

RELEVANT PRECEDENTS:

There do not appear to be any directly comparable precedents for either approval or denial of requests to construct a garage or accessory building that would encroach into the rear yard setback. Additionally, this case is a request to construct an accessory building to replicate the demolished portions of an existing accessory building in its same location.

Draft Motion

I move to direct staff to draft a decision **APPROVING/DENYING** the variance request in case A-6115, based on the findings that ...

**CHEVY CHASE VILLAGE
NOTICE OF PUBLIC HEARING**

Please take notice that the Chevy Chase Village Board of Managers will hold a public hearing on the 14th day of May, 2012 at 7:30 p.m. The hearing will be held at the Chevy Chase Village Hall at 5906 Connecticut Avenue in Chevy Chase, Maryland.

**APPEAL NUMBER A-6115
MR. & MRS. W. REID THOMPSON
14 WEST KIRKE STREET
CHEVY CHASE, MARYLAND 20815**

The applicants have filed a request for a variance pursuant to Section 8-11 of the Chevy Chase Village Code to construct a guest house in the same location as the existing garage, which encroaches six feet, five and seven eighths inches (6'-5 $\frac{7}{8}$ "') into the nine foot, two and one-quarter inch (9'-2 $\frac{1}{4}$ "') rear (south) accessory building setback. The rear (south) wall measures twenty-eight feet two and one-quarter inches (28'-2 $\frac{1}{4}$ "') in length.

The Chevy Chase Village Code § 8-21(b) states:

Any detached garage or other accessory building shall be located at least five (5) feet from any rear or side lot line or alley line.

Additionally:

The Chevy Chase Village Code § 8-21(c) states:

For any detached garage or other accessory building with a length along a rear or side lot line which has a linear dimension greater than twenty-four (24) feet, the minimum setback from that rear or side lot line shall be increased from the requirement in subsection (b) above at a ratio of one (1) foot for every one (1) foot that the dimension exceeds twenty four (24) linear feet.

Additional information regarding this case may be obtained at the Chevy Chase Village Office between the hours of 9:00 a.m. and 5:00 p.m. Monday through Friday, may be viewed on the Village website at www.chevychasevillagemd.gov or you may contact the office for this information to be mailed to you.

This notice was mailed to abutting and confronting property owners on the 3rd day of May, 2012.

**Chevy Chase Village Office
5906 Connecticut Avenue
Chevy Chase, Maryland 20815
301-654-7300**

MAILING LIST FOR APPEALS A-6114 & A-6115

MR. & MRS. W. REID THOMPSON
14 WEST KIRKE STREET
CHEVY CHASE, MD 20815

Adjoining and confronting property owners	
Mr. & Mrs. William Silverman Or Current Resident 15 West Kirke Street Chevy Chase, MD 20815	Mr. & Mrs. Joseph K. Melrod Or Current Resident 11 West Kirke Street Chevy Chase, MD 20815
Mr. Ephraim Jacobs Or Current Resident 16 West Kirke Street Chevy Chase, MD 20815	Mr. & Mrs. Gordon Vap Or Current Resident 12 West Kirke Street Chevy Chase, MD 20815
Mr. & Mrs. Arnold C. Ratner Or Current Resident 9 West Kirke Street Chevy Chase, MD 20815	Mr. & Mrs. David H. Bralove Or Current Resident 11 West Irving Street Chevy Chase, MD 20815
Mr. & Mrs. Michael Helfer Or Current Resident 15 West Irving Street Chevy Chase, MD 20815	Mr. & Mrs. Henry A. Dudley Or Current Resident 13 West Irving Street Chevy Chase, MD 20815
Ms. Barbara S. Bissinger Or Current Resident 9 West Irving Street Chevy Chase, MD 20815	

I hereby certify that a public notice was distributed to the aforementioned property owners on the 3rd day of May, 2012.



Ellen Sands
Permitting and Code Enforcement Coordinator
Chevy Chase Village
5906 Connecticut Avenue
Chevy Chase, MD 20815

CHEVY CHASE VILLAGE

ESTABLISHED 1890

May 3, 2012

Mr. & Mrs. W. Reid Thompson
14 West Kirke Street
Chevy Chase, MD 20815

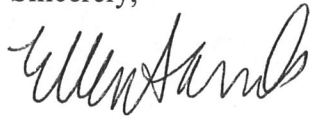
Dear Mr. & Mrs. Thompson:

Please note that your requests for a special permit to partially demolish and a variance to construct the guest house on your property are scheduled before the Board of Managers on Monday, May 14, 2012 at 7:30 p.m.

Either you or another representative must be in attendance to present your cases. At that time, additional documents may be introduced and testimony can be provided in support of the requests.

For your convenience, enclosed please find copies of the Public Hearing Notices and mailing list. Please contact the Village office in advance if you are unable to attend.

Sincerely,



Ellen Sands
Permitting and Code Enforcement
Chevy Chase Village

Enclosures

CHEVY CHASE VILLAGE

5906 Connecticut Avenue
Chevy Chase, Maryland 20815

Phone (301) 654-7300

Fax (301) 907-9721

ccv@montgomerycountymd.gov

www.chevychasevillagemd.gov

SHANA R. DAVIS-COOK
Village Manager

DAVID R. PODOLSKY
Legal Counsel

BOARD OF MANAGERS

PATRICIA S. BAPTISTE
Chair

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ALLISON W. SHUREN
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Assistant Secretary

LAWRENCE C. HEILMAN
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GARY CROCKETT
Assistant Treasurer

DAVID L. WINSTEAD
Board Member

Chevy Chase Village
Building Permit Application

Permit No: A-6115

Property Address: 14 W. KIRKE STREET	
Resident Name: W. REID THOMPSON	
Daytime telephone: 301-986-1290	Cell phone:
After-hours telephone:	
E-mail:	
Project Description: REMOVE EXISTING REAR GARAGE AND (CRACKED) CONCRETE SLAB ON GRADE (NO FOOTINGS) KEEP FRONT DOORS AND TRIM FOR REUSE. CONSTRUCT LIKE SIZE CARRIAGE HOUSE, TO INCLUDE NEW CONCRETE SLAB AND INCORPORATE BEDROOM, BATHROOM AND KITCHEN SPACE, AS SHOWN ON PLAN.	
<input checked="" type="checkbox"/> Check here if the construction will require the demolition of over fifty (50) percent of any existing structure.	
Primary Contact for Project:	
<input type="checkbox"/> Resident	<input type="checkbox"/> Architect
<input type="checkbox"/> Project Manager	<input checked="" type="checkbox"/> Contractor*
*MHIC/MD Contractor's License No. (required):	
Information for Primary Contact for Project (if different from property owner):	
Name: SMITH, THOMAS & SMITH / DAVID ALESSANDRINI	
Work telephone: 301-656-0141	After-hours telephone:
Cell phone: 202-714-2331	
E-mail: stsgc@aol.com	
Will the residence be occupied during the construction project? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If no, provide contact information for the party responsible for the construction site (if different from above):	
Name:	
Address:	
Work telephone:	After-hours telephone:
Cell phone:	
E-mail:	
Parking Compliance:	
Is adequate on-site parking available for the construction crews? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If no, please attach a parking plan which minimizes inconvenience to neighboring residents, and indicate if the property is in a permit parking area.	
Will road closings be required due to deliveries, equipment or other reasons? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

Building Permit Filing Requirements:
Application will not be reviewed until the application is complete

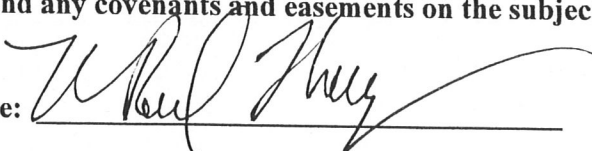
- ☒ Copy of stamped drawings approved by Montgomery County Department of Permitting Services (DPS) and the Historic Preservation Commission (HPC), if required. Every page of drawings must be clearly stamped.
- ☒ This application form, signed by resident.
- ☐ Boundary Survey
- ☒ Site Plan (see: Village Site Plan Checklist to ensure completeness)
- ☒ Building plans and specifications
- ☐ Tree Preservation Plan requested of Village arborist (see: Village Tree Inspection Request form). All required tree protections must be fully installed before any work begins.
- ☐ Filing Fee (due at time of application). Fees schedule is listed in Chapter 6 of the Village Code.
- ☐ Damage deposit or performance bond (due when Building Permit is issued). Amount of required deposit or bond will be set by Village Manager.

Once this permit application is complete, the Village Manager will review the application and accompanying documents and, under most circumstances, act on the application within 5 to 10 working days.

If the Montgomery County permit is suspended, revoked or lapsed, the Village permit is automatically suspended, revoked or lapsed.

No signs advertising the architect, contractor, or any other service provider may be posted on the work site.

I hereby certify that I have the authority to make the foregoing application, that the application is correct, that I have read and understood all requirements and that the construction will conform to the regulations of the Montgomery County Zoning Code, the Village Code including Urban Forest code, and any covenants and easements on the subject property.

Applicant's Signature:  **Date:** 3/15/12

To be completed by Village staff:

Is this property within the historic district? Yes ☒ No ☐ Staff Initials: ES
Date application filed with Village: 3/15/12 Date permit issued: _____ Expiration date: _____

For Use By Village Manager	Application approved with the following conditions:

DENIED MAR 15 2012 + APR 10 2012 Chevy Chase Village Manager	Application denied for the following reasons:
	<i>Handwritten:</i> The proposed reconstructed carriage house encroaches into the rear yard setback per 8-21. <u>AMENDED 4/10/2012:</u>
	<i>Handwritten:</i> The proposed interior work would create a second dwelling on the lot per 8-17(c)

Filing Fees (due when application submitted)	Checks Payable to: Chevy Chase Village 5906 Connecticut Ave. Chevy Chase, MD 20815
Permit Application Fee: \$ _____ (see Permit Fee Worksheet)	
Tree Preservation Plan Fee: <input type="checkbox"/> \$250.00 <input type="checkbox"/> Not required for this project.	
TOTAL Fees:	Date: Staff Signature:

Damage Deposit/Performance Bond (due when permit is issued)	Checks Payable to: Chevy Chase Village 5906 Connecticut Ave. Chevy Chase, MD 20815
<input type="checkbox"/> \$ _____ <input type="checkbox"/> Waived by Village Manager	Date: Staff signature:
Cost of damage to R-O-W: (calculated at close-out) Amount of refund:	Date: Staff signature:

For Village Staff use: Field file for inspections by Code Enforcement Officer has been created: <input type="checkbox"/> Yes (Date: _____)

Chevy Chase Village

Application for a Variance

A variance is permission granted to a landowner to depart from the specific requirements of the Village zoning ordinance and allows a landowner to use land differently than specified in the ordinance. The variance is a written authorization from the Board of Managers permitting construction in a manner not otherwise allowed by the Village Code.

Subject Property: 14. W. KIRKE STREET	
Describe the Proposed Project: RE-CONSTRUCT REAR CARRIAGE HOUSE, TO MATCH SIZE, DESIGN AND LOCATION OF EXISTING.	
Applicant Name(s) (List all property owners): W. REED THOMPSON MARY M. THOMPSON	
Daytime telephone: 301. 986. 1296	Cell:
E-mail:	
Address (if different from property address):	
For Village staff use:	
Date this form received: 3/16/12	Variance No: A-6115

Filing Requirements:

Application will not be accepted or reviewed until the application is complete

- ☒ Completed Chevy Chase Village Application for a Variance (this form)
- ☒ Completed Chevy Chase Village Building Permit Application
- ☒ A boundary survey or plat diagram with a margin of error of one tenth of a foot or less showing all existing structures, projections and impervious surfaces.
- ☒ Surveys, plats, engineering reports, construction plans/specifications or other accurate drawings showing boundaries, dimensions, and area of the property, as well as the location and dimensions of all structures/fences/walls/etc., existing and proposed to be erected, and the distances of such structures/fences/walls/etc., from the nearest property lines. These drawings shall incorporate and display reference dimensions from the boundary survey or plat diagram required above.
- ☒ Copy of Covenants applicable to the property except for variances from Sections 8-22, 8-26 or Article IV of Chapter 8 of the Chevy Chase Village Code.
- ☐ Variance fee (See fee schedule listed in Chapter 6 of the Village Code).

Affidavit

I hereby certify that I have the authority to submit the foregoing application, that all owners of the property have signed below, that I have read and understand all requirements and that I or an authorized representative will appear at the scheduled public hearing in this matter. I hereby authorize the Village Manager, or the Manager's designee, and/or the Board of Managers to enter onto the subject property for the purposes of assessing the site in relation to this variance request. I hereby declare and affirm, under penalty of perjury, that all matters and facts set forth in the foregoing application are true and correct to the best of my knowledge, information and belief.

Applicant's Signature: Mary M. Thompson

Date: 3/15/12

Applicant's Signature: Mary M. Thompson

Date: 3/15/12

Describe the basis for the variance request (attach additional pages as needed).

Describe the special conditions of the property (e.g., odd shape, small size, sloping topography, abuts state highway, etc.) and how the property compares to other properties in the Village:

THE PROPERTY CONSISTS OF A DOUBLE WIDE LOT, WHICH IS LISTED IN THE HISTORICAL MASTER PLAN. THE EXISTING GARAGE STRUCTURE IS SETTING 14 FEET OFF THE REAR PROPERTY LINE.

Describe how enforcement of the building regulations would result in an unwarranted hardship and injustice because of the special condition(s) described above (i.e., describe (i) the unwarranted hardship and injustice that you claim exists and (ii) how the special conditions cause that unwarranted hardship and injustice):

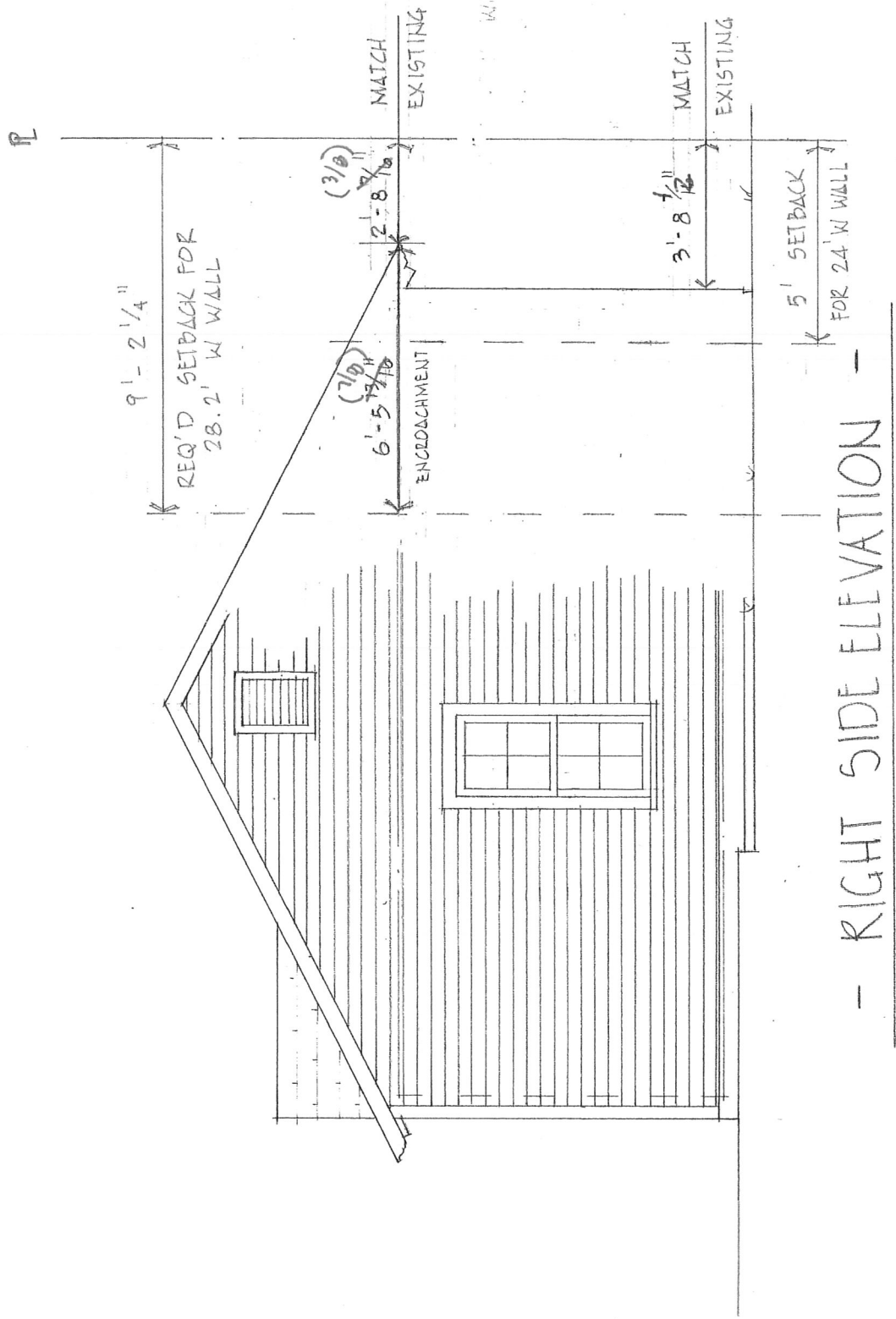
ENFORCEMENT OF THE CURRENT REAR SETBACK WOULD REQUIRE ALTERATIONS TO THE SIZE AND/OR LOCATION OF THE GARAGE STRUCTURE, TAKING AWAY FROM ITS HISTORICAL SIGNIFICANCE, AS NOTED BY THE HISTORICAL PRESERVATION COMMISSION.

Describe how the proposed variance most nearly accomplishes the intent and purpose of the requirements of Chapter 8 of the Chevy Chase Village Code, entitled *Buildings and Building Regulations*:

GRANTING OF THIS VARIANCE WILL ALLOW RECONSTRUCTION OF THIS HISTORIC STRUCTURE AT ITS EXISTING LOCATION

In exercising its powers in connection with a variance request, the Chevy Chase Village Board of Managers may reverse or affirm, wholly or partly, or may modify the requirement, decision or determination as it deems appropriate.

<p align="center">Variance Filing Fee</p>	<p>Checks Payable To: Chevy Chase Village 5906 Connecticut Ave. Chevy Chase, MD 20815</p>
<p><i>Per Village Code Sec. 6-2(a)(24):</i></p> <p><input type="checkbox"/> \$300.00 for new construction.</p> <p><input checked="" type="checkbox"/> \$150.00 for replacing existing non-conformities.</p> <p><input type="checkbox"/> \$300.00 for fences, walls, play equipment, trees, hedges, shrubbery in the public right-of-way.</p> <p><input type="checkbox"/> Other: \$ _____</p> <p>Fee Paid: \$150.00 - check # 2885</p>	<p>Date Paid: 3/16/12</p> <p>Staff Signature: <i>Wen Jando</i></p>



W. REID THOMPSON

14 WEST KIRKE STREET
CHEVY CHASE, MD 20815

~~701 NINTH STREET, N.W.~~
~~WASHINGTON, D.C. 20068~~

April 19, 2012

Ms SHARA R. DAVIS-COOK
Village Manager -
Chow Chisso W. Way -

Dear Shara

You advised me that the denial
of my Request for permit to tear down
part of carriage house and reconstruction,
because it violated DC 8-17 (c) & the
code was based on prohibition
against having food preparation
facilities.

Smithy Thomas has Redman
the proposed construction to eliminate
the kitchen and leave only
a small bar area with sink
and refrigerator.

Please advise me whether we
could anticipate approval of this plan
with variance as to work set back to
clear as is.

Thank you very much

Sincerely
Reid Thompson

NOTES:

Construction plans to comply with all local codes, including IRC 2009.

Fire/smoke detector system to be hardwired, interconnected smoke detectors, on a dedicated circuit from the panel and with a battery back-up, located in each sleeping room, outside each sleeping area, and each habitable floor.

DESIGN CRITERIA:

Floor occupancy live load: 40 psf
 Floor dead load: 10 psf
 Roof live load/snow load: 30 psf
 Roof dead load: 15 psf
 Wind load: 90 mph, 3 second gust
 Wind importance factor: 1W = 1.0
 Wind exposure category: B
 Minimum design wind pressure for main wind force resisting system & components/Cladding = 20 psf
 Seismic importance factor = 1.0
 Seismic design category = B

Framing lumber: kiln dried Western SPF
 Framing studs: kiln dried Eastern SPF
 Concrete: 2,500 psf minimum, no air
 Foundation soil: 2,000 psf soil bearing

Wall insulation to be 3 1/2" R-15 fiberglass insulation
 Ceiling insulation to be 12" R-38 fiberglass insulation
 Floor insulation to be 6" R-19 fiberglass insulation

New windows to be Lincoln, vinyl clad, double hung and casement units, with low-E II/Argon insulated glass, U-value = 0.34

New door to be Lincoln, vinyl clad, French, with low-E II/Argon insulated glass, U-value = 0.34

Air Leakage

Building thermal envelope. The building thermal envelope shall be durably sealed to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be caulked, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material:

1. All joints, seams and penetrations.
2. Site-built windows, doors and skylights.
3. Openings between window and door assemblies and their respective jambs and framing.
4. Utility penetrations.
5. Dropped ceilings or chases adjacent to the thermal envelope.
6. Knee walls.
7. Walls and ceilings separating a garage from conditioned spaces.
8. Behind tubs and showers on exterior walls.
9. Common walls between dwelling units.
10. Attic access openings.
11. Rim joist junction.
12. Other sources of infiltration.

Smith, Thomas & Smith, Inc.

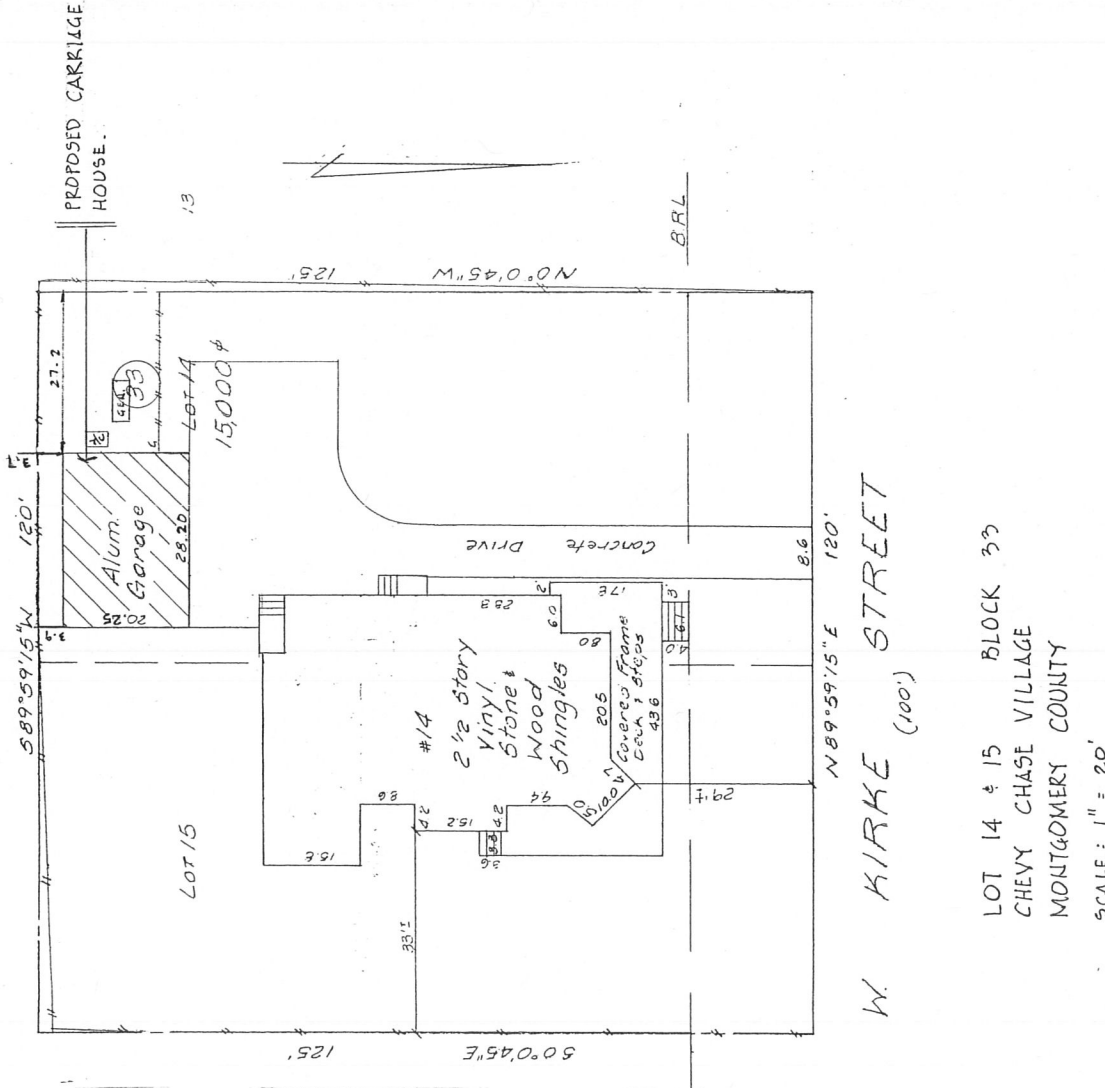
General Contractors

THOMPSON RESIDENCE

14 W. KIRKE STREET

CARRIAGE HOUSE

SCALE: AS NOTED



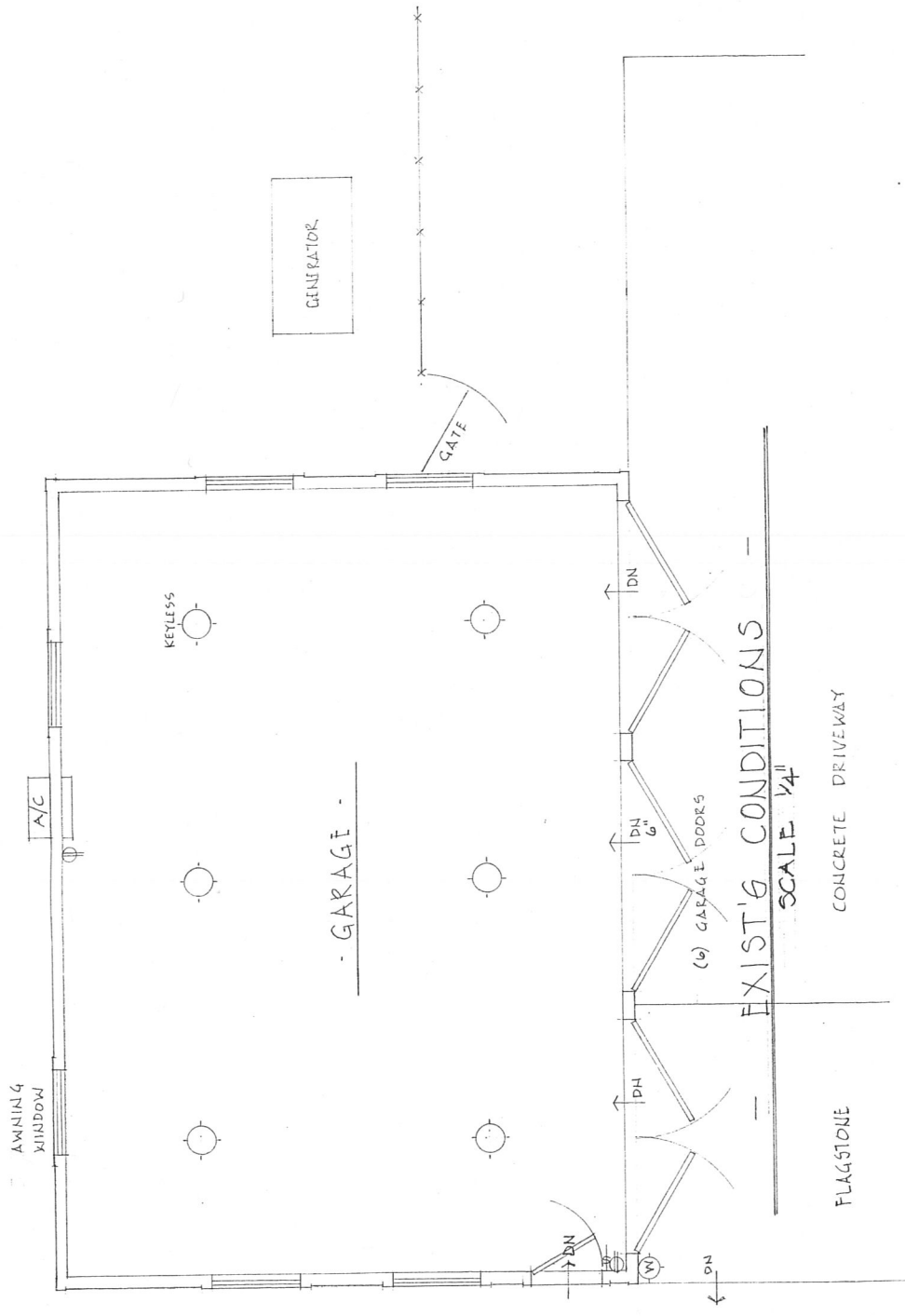
W. KIRKE STREET (100')

LOT 14 & 15 BLOCK 33
 CHEVY CHASE VILLAGE
 MONTGOMERY COUNTY

SCALE: 1" = 20'

12

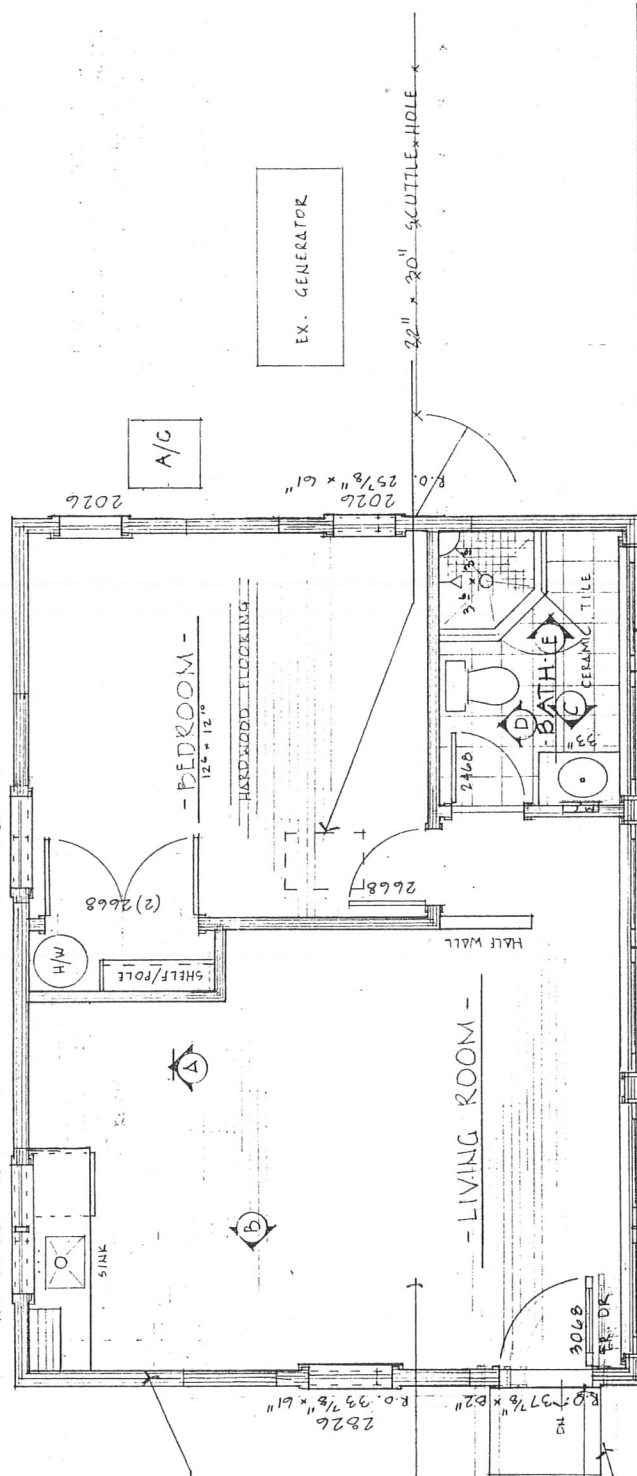
FENCE / REAR PROPERTY LINE



Smith, Thomas & Smith, Inc. <i>General Contractors</i>	THOMPSON RESIDENCE	CARRIAGE HOUSE
14 W. KIRE STREET, CHEVY CHASE, MD 20015	SCALE: AS NOTED	

3226 (EGRESS)
R.O. 37 1/8" x 61"

C2-203A
R.O. 50 1/2" x 39 1/2"



2" x 4" STUDS @ 16" O.C., W/ 1/2" PLYWOOD SUBSIDING, HOUSE WRAP & HARDIE PLANK SIDING (4"). 3 1/2" R-15 FIBERGLASS INSULATION & 1/2" DRYWALL, INTERIOR.

FORM & POUR NEW CONCRETE SLAB, W/ TURN DOWN FTG., FURR FLOOR W/ 2" x 6" JOISTS @ 16" O.C., W/ 6" R-19 FIBERGLASS INSULATION, 5/8" PLYWOOD SUBFLOOR & 2 1/4" OAK HARDWOOD FLOORING.

INSTALL NEW DOOR & JAMBS. CONCRETE STOOP

EXISTING (6) GARAGE DOORS TO BE REDUCED @ FRONT WALL, INSTALLED FIXED. REUSE EXISTING EXTERIOR TRIM.

EXISTING CONCRETE DRIVEWAY

EX. FLAGSTONE

Heating and Cooling Equipment Controls. At least one pre-programmed programmable thermostat is required when using a forced air system. Separate thermostats are required for each heating/cooling zone in the dwelling.

Duct Insulation. Supply and return ducts located outside the thermal building envelope shall be insulated to an R-8. Ducts in floor trusses can be insulated to an R-6.

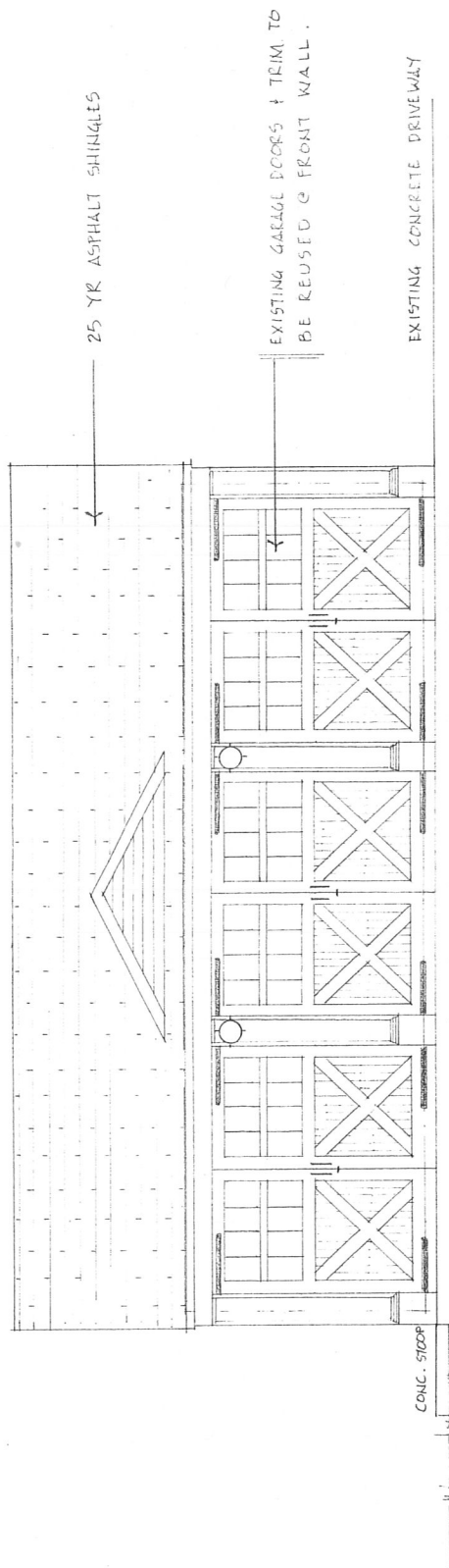
Duct Sealing. All ducts, air handlers, filter boxes, and building cavities must be sealed. Joints and seams shall comply with and M1601.4.1 IRC.

Mechanical System Piping Insulation. R-2 for piping carrying fluids at > 105 °F or < 55 °F is required.

Mechanical Ventilation. Outdoor air intakes or exhausts shall have dampers.

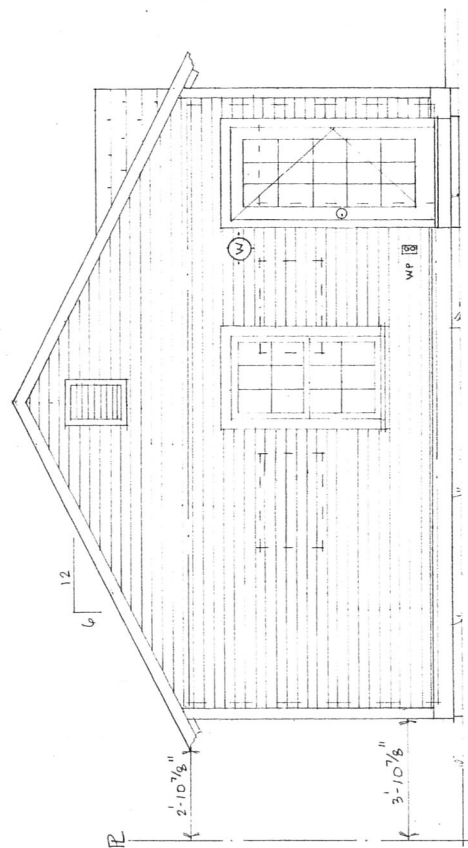
PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

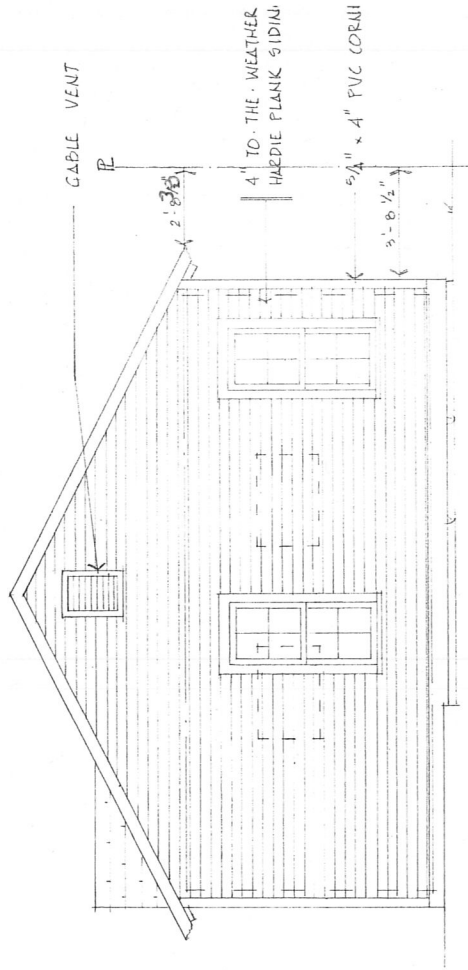


- FRONT ELEVATION -

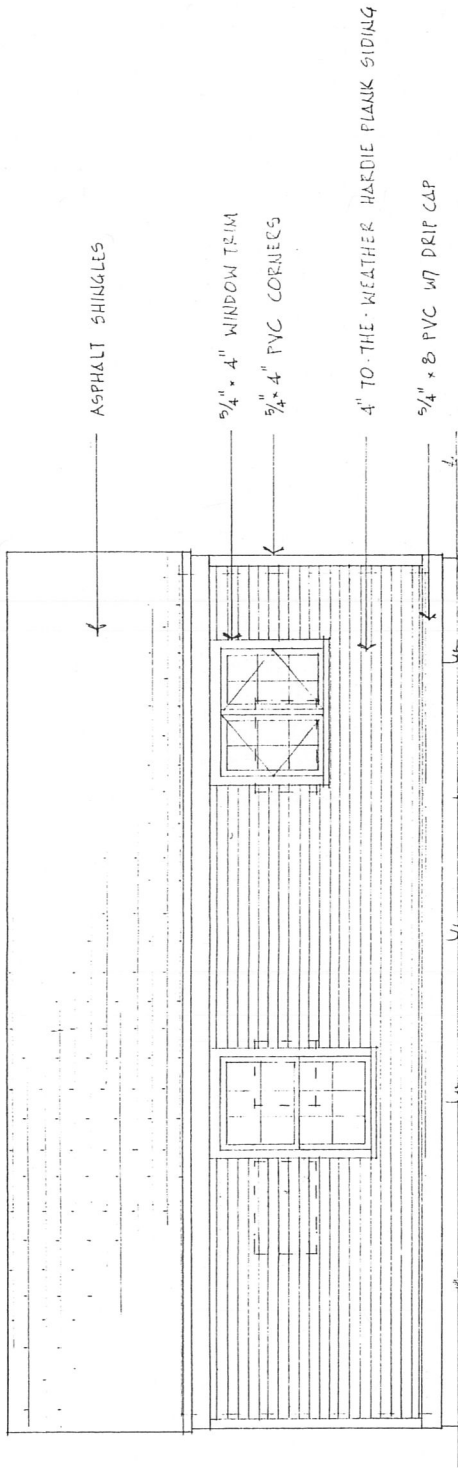
SCALE: 1/4" = 1'-0"



- LEFT SIDE ELEVATION -



- RIGHT SIDE ELEVATION -

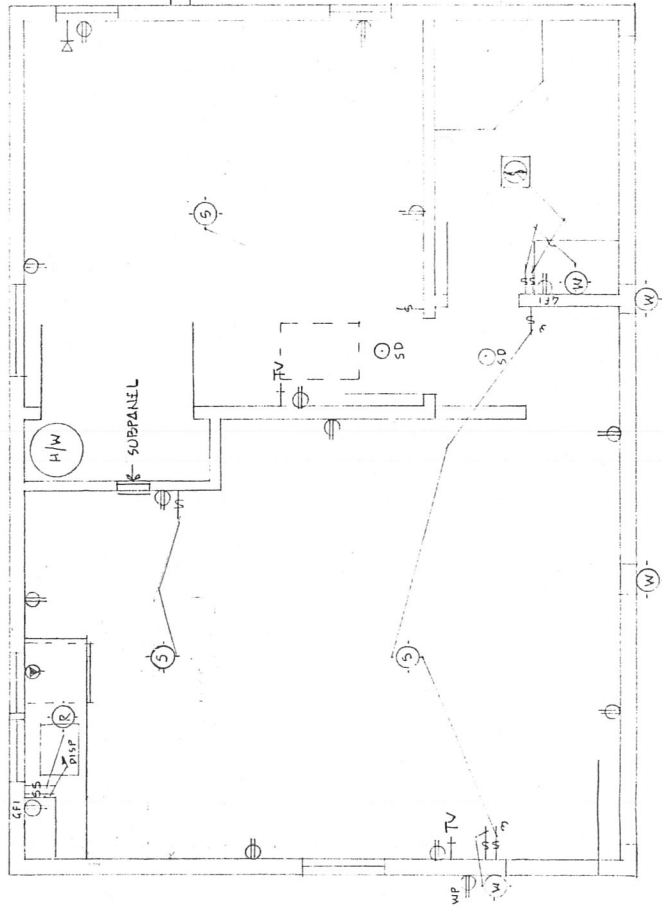


- REAR ELEVATION -

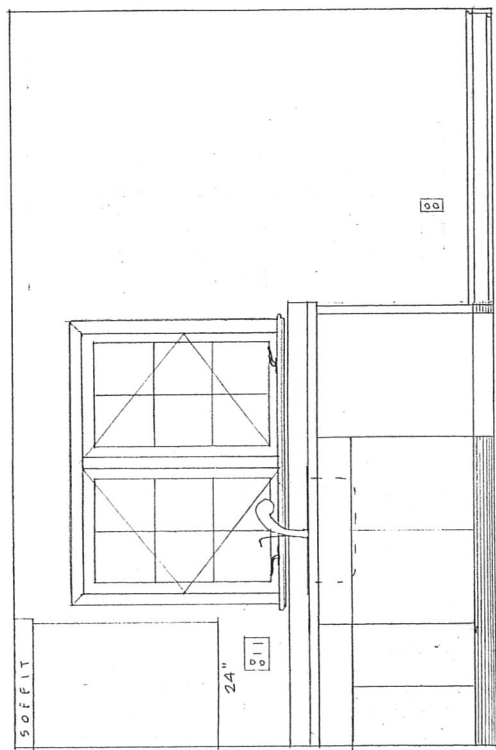
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS	
	DUPLEX OUTLET
	GROUND FAULT OUTLET
	WEATHER-PROOF OUTLET
	SINGLE POLE SWITCH
	3-WAY SWITCH
	CABLE TV JACK
	PHONE JACK
	SURFACE LIGHT
	WALL SCONCE
	RECESSED LIGHT
	FLUORESCENT LIGHT
	UNDER CABINET LIGHT
	EXHAUST FAN
	SMOKE DETECTOR

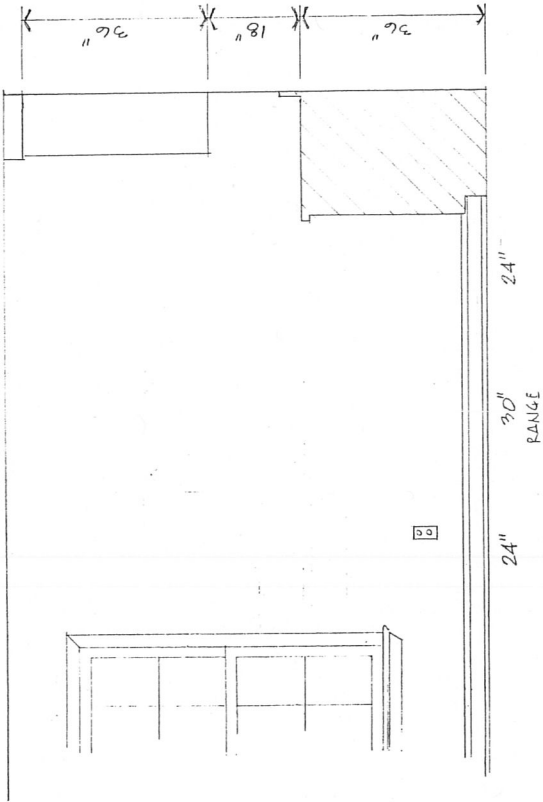
HVAC: 18,000 BTU HEAT PUMP UNIT W/ 10KW BACK-UP HEAT & PROGRAMMABLE THERMOSTAT. AIR HANDLER TO BE LOCATED IN ATTIC.



A/C
20 AMP W.P. FUSED
DISCONNECT SWITCH

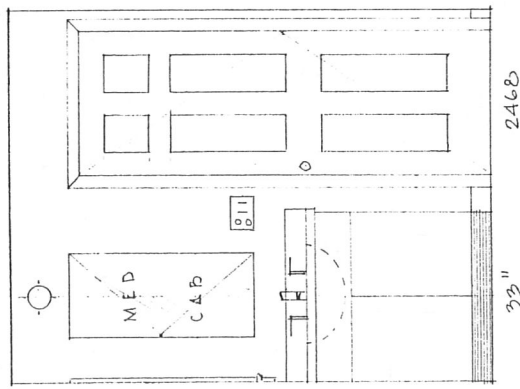


- VIEW A -

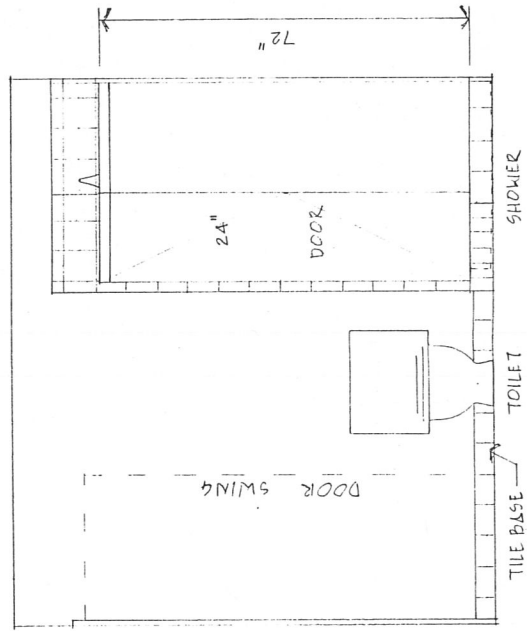


- VIEW B -

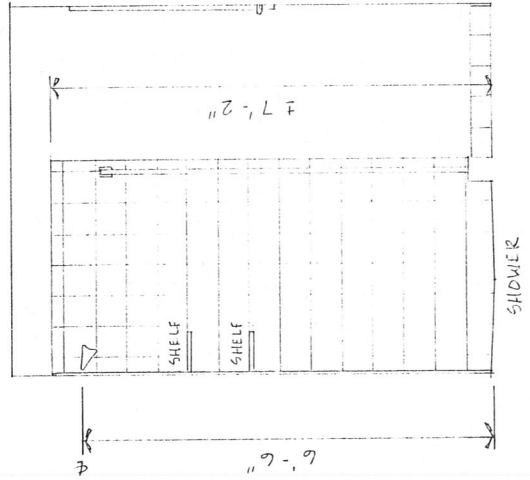
SCALE: $\frac{1}{2}" = 1'-0"$



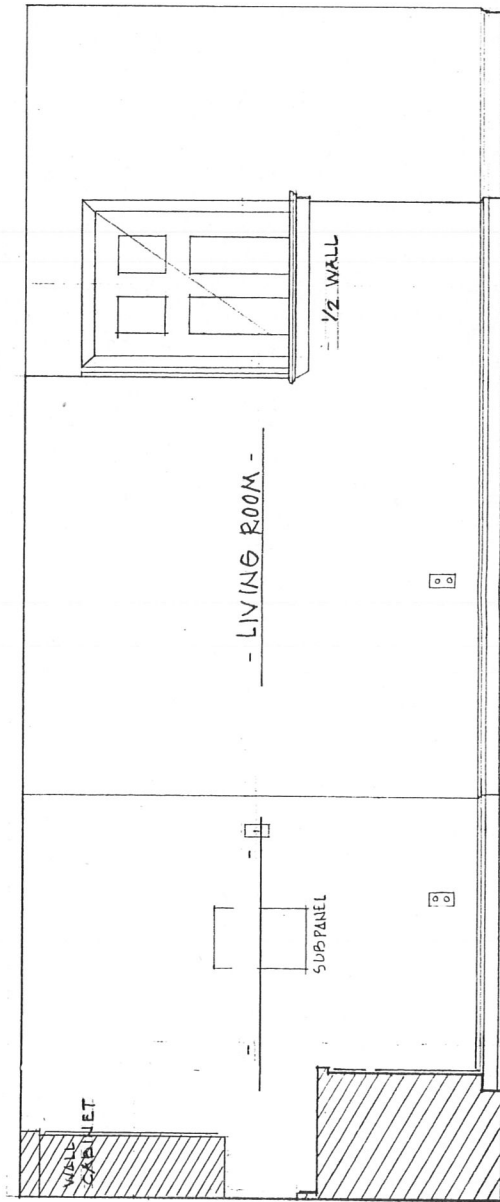
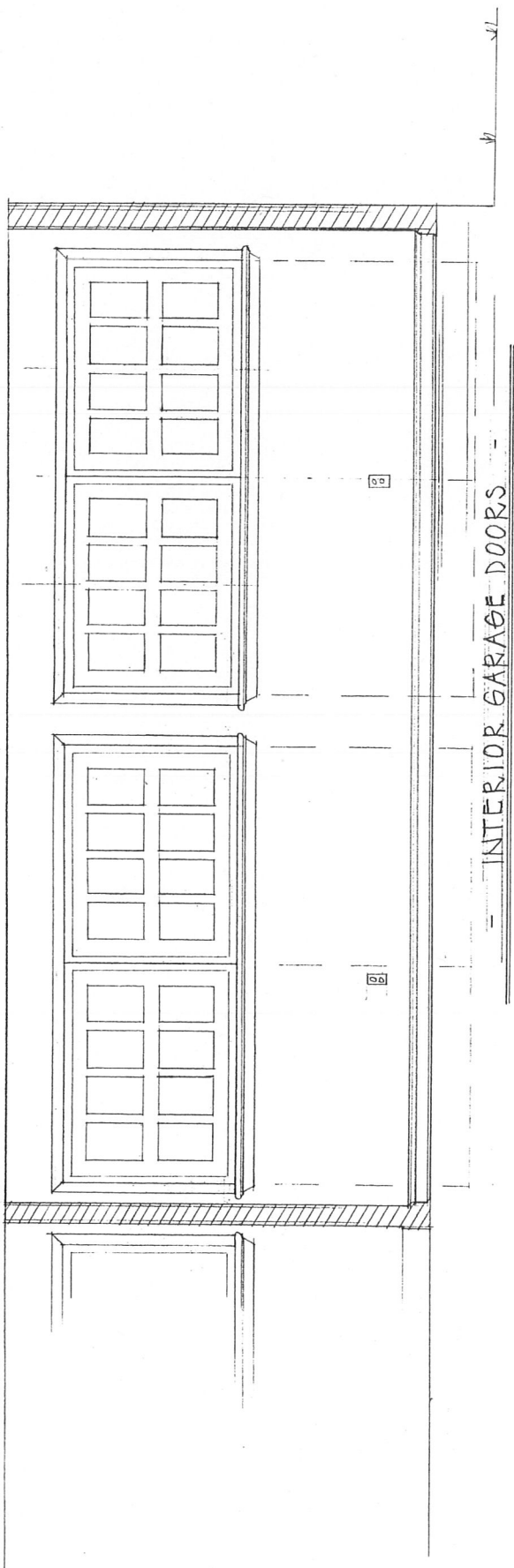
- VIEW C -



- VIEW D -



- VIEW E -



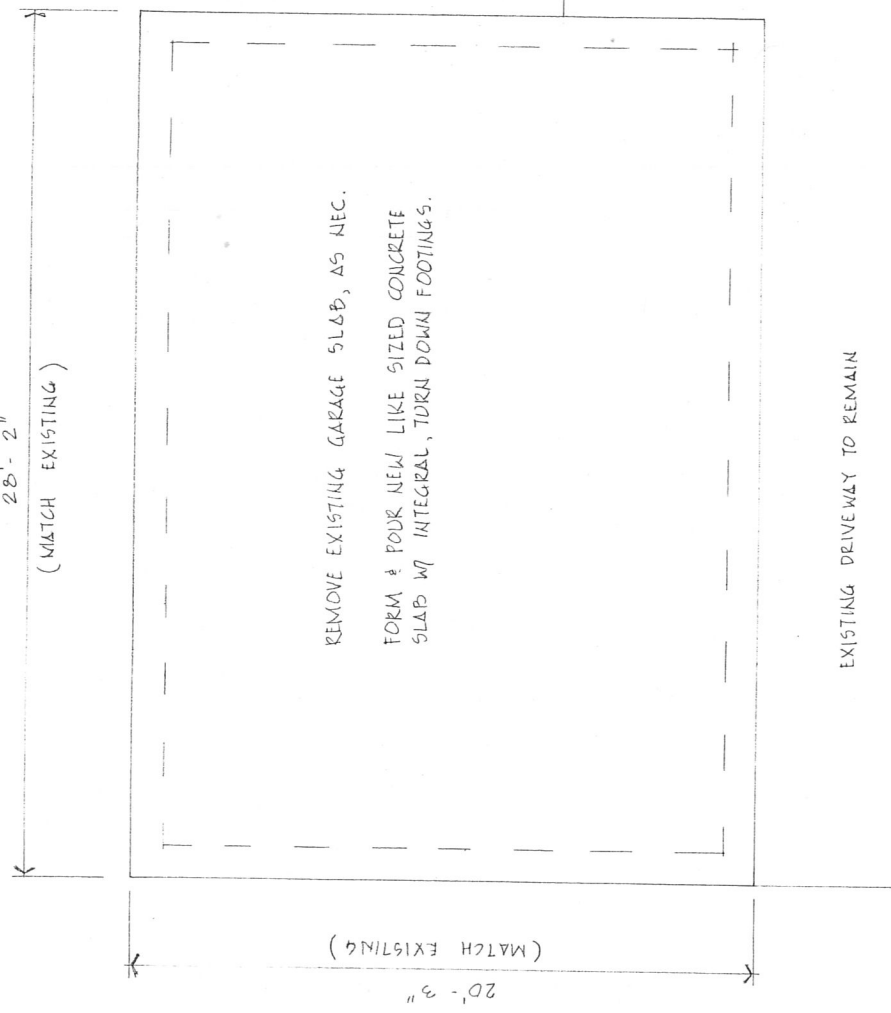
SCALE: 1/2"

R506.1 General. Concrete slab-on-ground floors shall be a minimum 3.5 inches (89 mm) thick (for expansive soils, see Section R403.1.8). The specified compressive strength of concrete shall be as set forth in Section R402.2.

R506.2 Site preparation. The area within the foundation walls shall have all vegetation, top soil and foreign material removed.

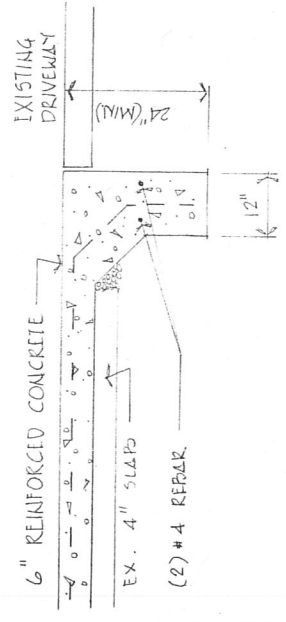
R506.2.2 Base. A 4-inch-thick (102 mm) base course consisting of clean graded sand, gravel, crushed stone or crushed blast-furnace slag passing a 2-inch (51 mm) sieve shall be placed on the prepared subgrade when the slab is below grade.

R506.2.3 Vapor retarder. A 6 mil (0.006 inch; 152 μ m) polyethylene or approved vapor retarder with joints lapped not less than 6 inches (152 mm) shall be placed between the concrete floor slab and the base course or the prepared subgrade where no base course exists.



- FOUNDATION PLAN -

SCALE: 1/4" = 1'-0"



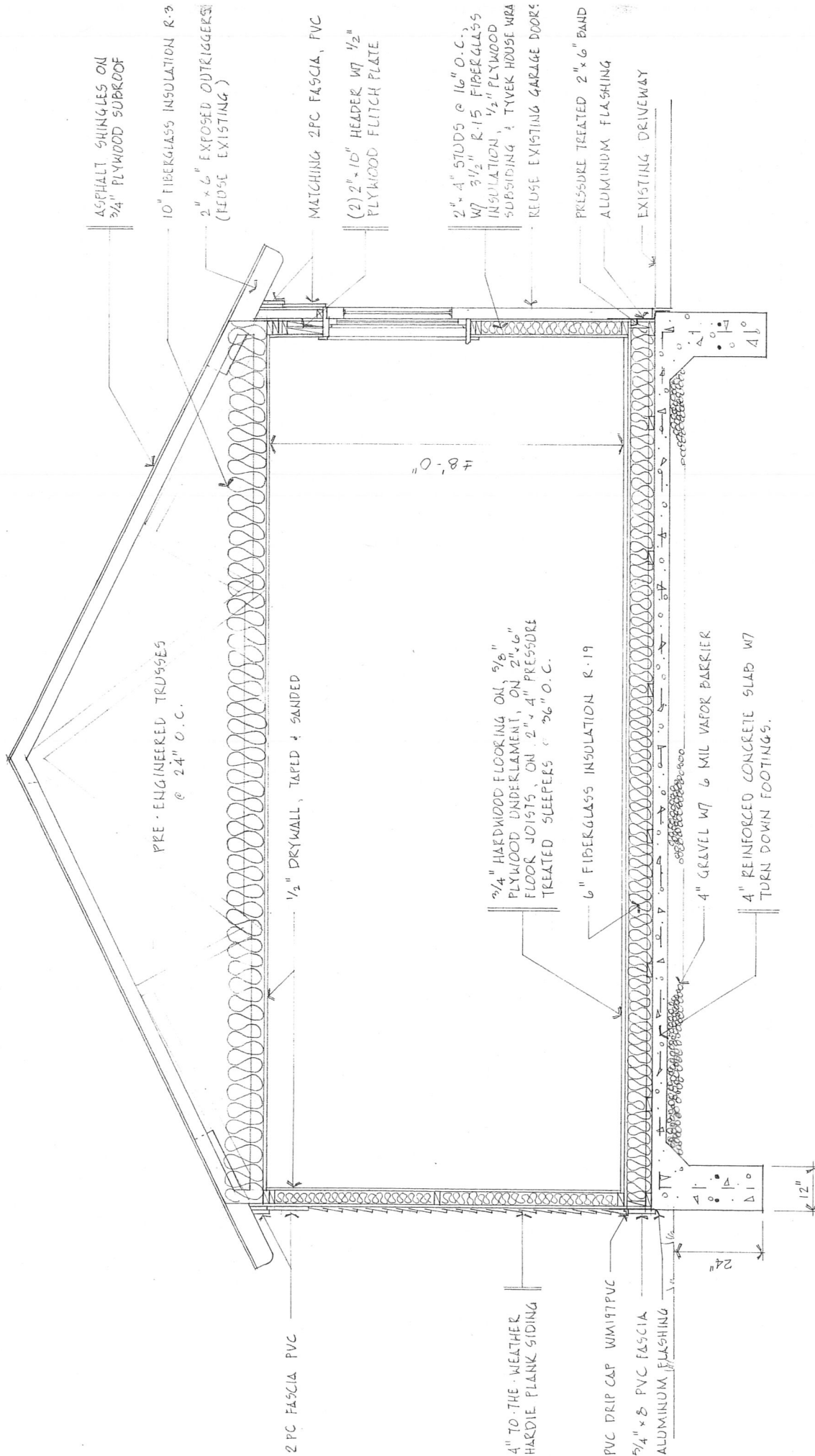
R506.2.4 Reinforcement support. Where provided in slabs on ground, reinforcement shall be supported to remain in place from the center to upper one third of the slab for the duration of the concrete placement.

R403.1.3.2 Slabs-on-ground with turned-down footings. Slabs on ground with turned down footings shall have a minimum of one No. 4 bar at the top and the bottom of the footing.

Exception: For slabs-on-ground cast monolithically with the footing, locating one No. 5 bar or two No. 4 bars in the middle third of the footing depth shall be permitted as an alternative to placement at the footing top and bottom.

- DETAIL -

SCALE: 1/2" = 1'-0"

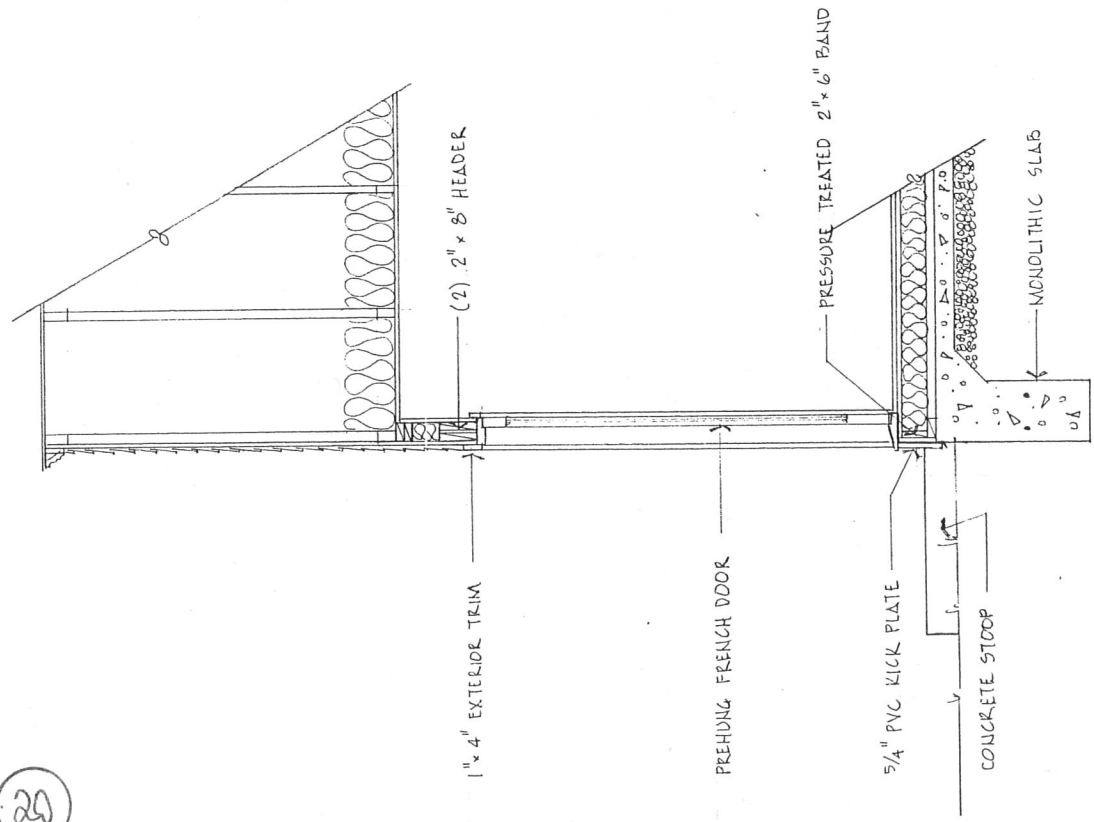


- SECTION -

SCALE: 1/4" = 1'-0"

applied in areas subject to high winds [above 110 mph (49 m/s) per Figure R301.2(4)] shall be applied with corrosion-resistant fasteners in accordance with manufacturer's installation instructions. Fasteners are to be applied along the overlap not further apart than 36 inches (914 mm) on center.

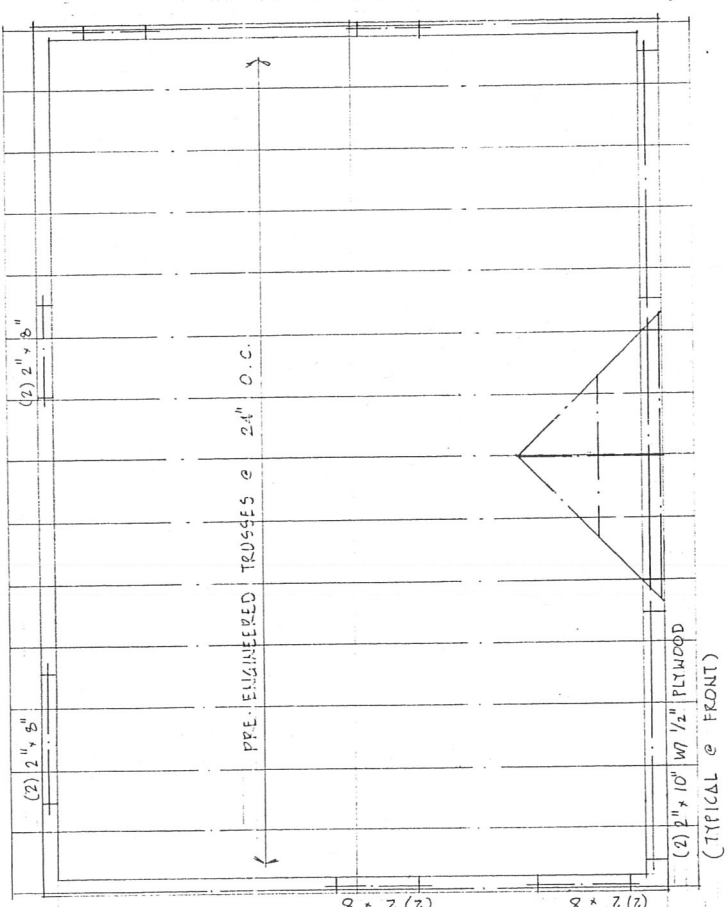
tory of ice forming along the eaves causing a backup of water as designated in Table R301.2(1), an ice barrier that consists of at least two layers of underlayment cemented together or of a self-adhering polymer modified bitumen sheet, shall be used in lieu of normal underlayment and extend from the lowest edges of all roof surfaces to a point at least 24 inches (610 mm) inside the exterior wall line of the building.



- DETAIL -

SCALE : 1/2" = 1'-0"

OVERHANG
12"



(TYPICAL @ FRONT)

- ROOF FRAMING PLAN -

SCALE : 1/4" = 1'-0"

Smith, Thomas & Smith, Inc.

MD. LICENSE #453
D.C. LICENSE #17
VA. LICENSE #035673

GENERAL CONTRACTORS

4713 MAPLE AVENUE, BETHESDA, MD 20814
TELEPHONE: 301-656-0141
EMAIL: STSGC@AOL.COM
FAX: 301-656-6705
www.smiththomasandsmith.com

April 3, 2012

Chevy Chase Village
5906 Connecticut Avenue
Chevy Chase, MD 20815
Attn: Board of Managers

Project: Remodeling of existing Carriage House at #14 W. Kirke Street, Chevy Chase, MD
(Accessory Building, rear, corner of property)

History: Mr. Reid Thompson, #14 W. Kirke Street, commissioned Smith, Thomas & Smith, Inc. (STS) to remodel the existing rear yard Carriage House from its current, open, garage-like interior to a Guest Suite, including a Bathroom, Bedroom and small Kitchen. The interior space appeared adequately sized to accommodate the improvements. Initially, it was assumed that the existing structure could remain, and with interior partitioning, and plumbing and electrical connections to the Main House, the project was feasible.

Mr. and Mrs. Thompson and STS agreed to save / preserve the front façade entirely, including the six (6) Carriage House doors, pilasters and trim.

New windows would be added to the side and rear walls, wood double hung and casements, similar to windows in the Main House.

The existing metal siding, 4" to-the-weather, would be replaced with Hardie-Plank siding, 4" to-the-weather, matching the "look" of the existing siding.

Several Floor Plan designs were submitted and finally a Plan was decided upon, after which cost estimating began.

Determining the Project construction requirements resulted in the following findings:

Existing Structural Conditions:

- The existing Carriage House structure had no footing, but sits on a poured concrete slab, not reinforced, which is badly cracked throughout, and has allowed considerable heaving inside and around the perimeter. Building Codes require a continuous concrete footing, and the existing slab would not be "reusable" and would have to be removed. A new concrete footing and reinforced slab would be necessary.
- The existing metal siding (which was to be replaced) was attached directly to the wall framing without any subsiding, simply nailed to the existing wall studs. Building Codes require subsiding (1/2" CDX plywood) and house wrap / vapor barrier.
- The perimeter wall framing was (very) unconventional, with studs spaced from 30" on center to 60" on center. Building Codes require 16" on center. Also, the bottom plates of these walls are not pressure treated, as required. All existing walls would require substantial reframing to comply with current codes.

- The existing roof and ceiling framing members were undersized and not spaced for proper support per current Building Code requirements. They would both have to be reframed.


All of the above-mentioned findings were discussed with Mr. Thompson and it was decided that STS and the Thompsons would save time and money if the existing structure and broken concrete slab was taken down and rebuilt to current Building Code requirements, under the following design criterion:

- A monolithic footing and concrete slab would be poured, matching the dimensions of the existing Carriage House, per current Building Codes.
- The new structure (Guest Suite) would be designed to match the exact dimensions of the existing Carriage House, including width, length, height, mass and scale. Framing of walls, roof, ceiling, headers and insulation would be per all applicable Building Codes. All exterior trim would match existing trim.
- As decided preliminarily, the front façade (the only wall visible from the public right-of-way) would be reconstructed using the existing, six (6) Carriage House doors, pilasters and trim, fitted into the new front wall with the same dimensions as the existing front wall.
- The windows on the side and rear walls (not visible from the front right-of-way) would be Lincoln, wood double-hung or casements (sized and located as shown on Plans), with painted exteriors and interiors, simulated divided lites (muntins) and muntin patterns similar to the Main House windows.

After deciding on the scope of the revised Project, a contract price was agreed upon and STS prepared construction plans. To date, we have received approval from the Historical Preservation Commission and Montgomery County Building Permit division. We are now submitting these plans for review by Chevy Chase Village.

Summary: After our in-depth structural review of the existing conditions, the revised construction scheme and the completion of the Construction Plans / Specifications for the guest Suite, it is hoped STS and the Thompsons will be approved to proceed with this Project as described above.

Respectfully Submitted,



John R. Gubisch, III
Vice President / Secretary



REAR GARAGE AS VIEWED FROM STREET

Existing Property Condition Photographs (duplicate as needed)



Detail: FRONT OF GARAGE



Detail: FRONT OF GARAGE

Applicant: THOMPSON

Page: 1

Existing Property Condition Photographs (duplicate as needed)



Detail: LEFT SIDE OF GARAGE



Detail: REAR OF GARAGE

Applicant: THOMPSON

Page: 2

Existing Property Condition Photographs (duplicate as needed)



Detail: RIGHT SIDE, NO FOOTING BELOW SLAB

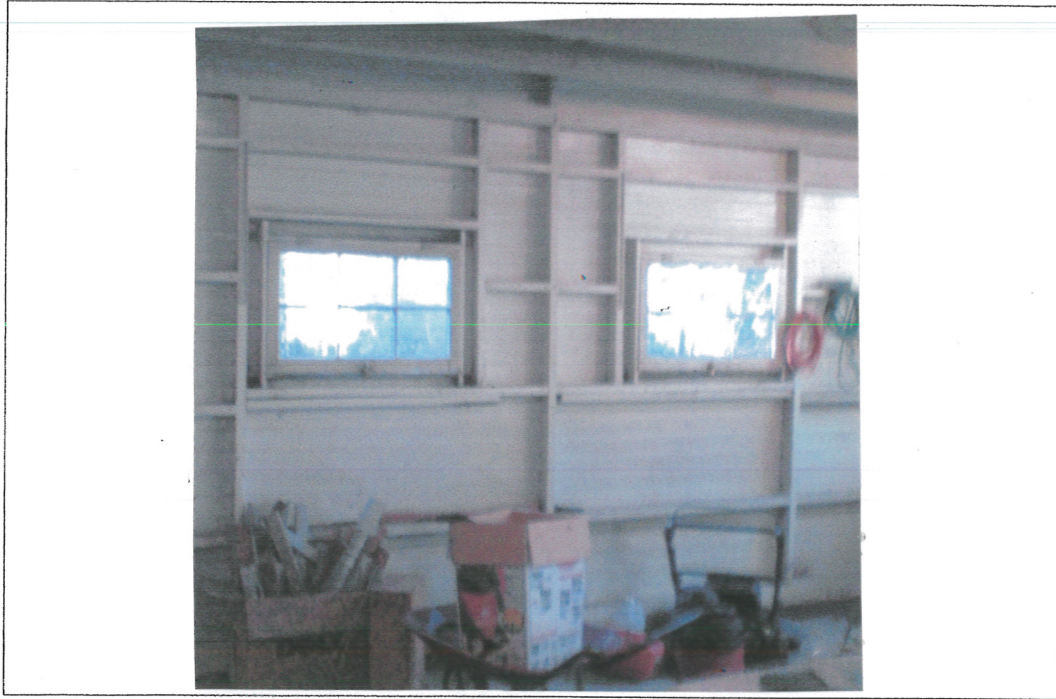


Detail: REAR CORNER, NO FOOTING BELOW SLAB

Applicant: THOMPSON

Page: 3

Existing Property Condition Photographs (duplicate as needed)



Detail: UNCONVENTIONAL SIDE WALL FRAMING
NO SUBSIDING



Detail: UNCONVENTIONAL REAR WALL FRAMING
NO SUBSIDING

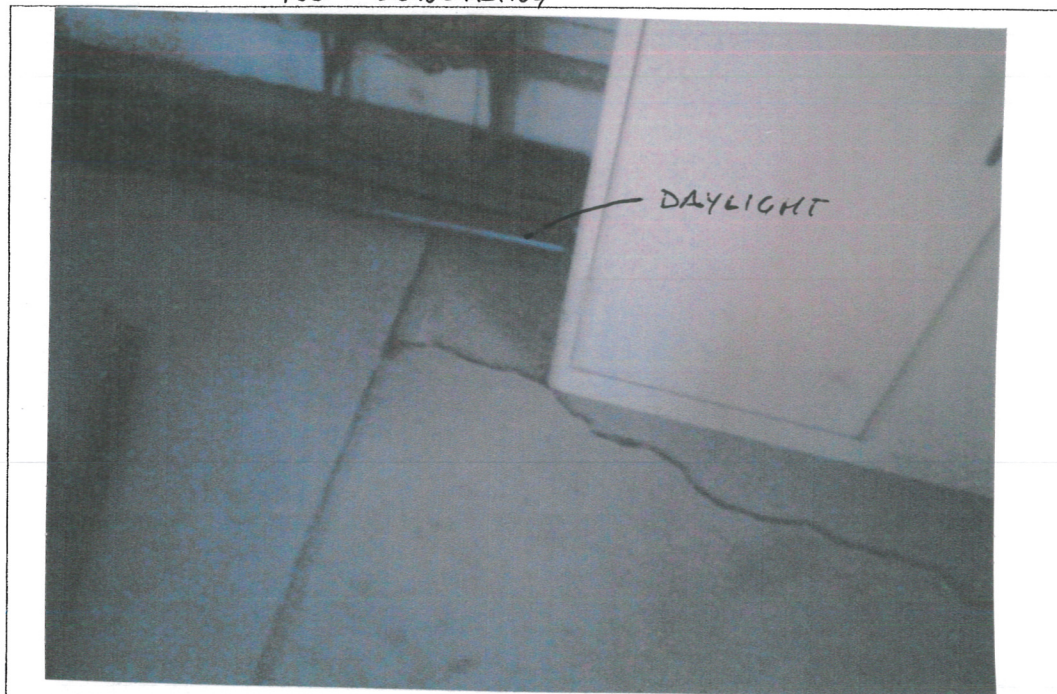
Applicant: THOMPSON

Page: 4

Existing Property Condition Photographs (duplicate as needed)



Detail: UNCONVENTIONAL SIDE WALL FRAMING
NO SUBSIDING

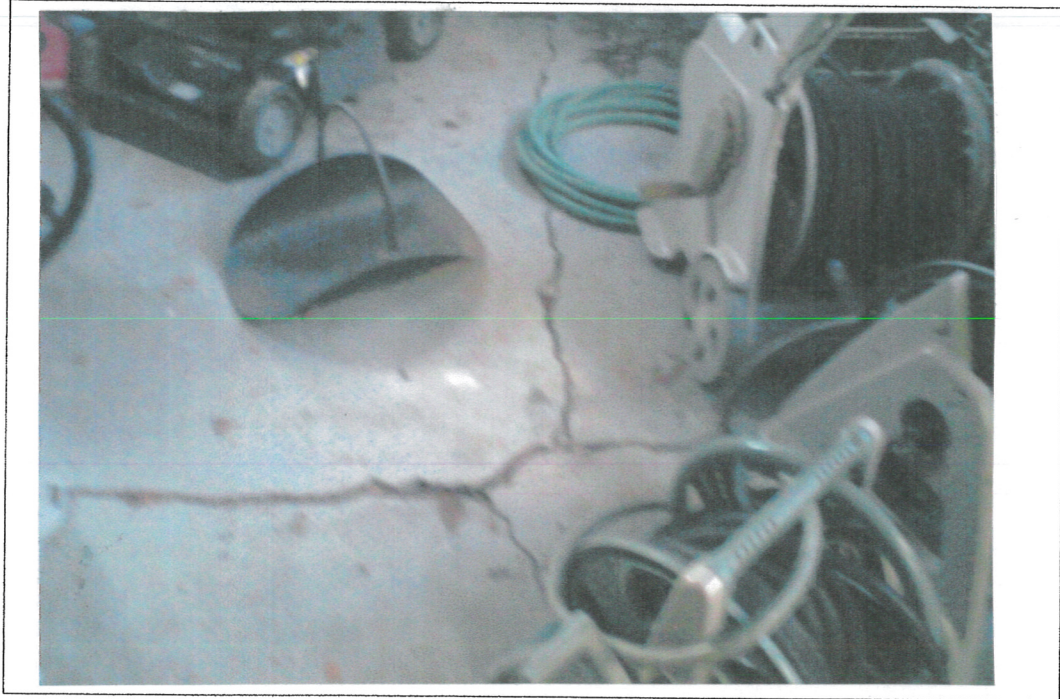


Detail: BADLY CRACKED SLAB, REAR CORNER

Applicant: THOMPSON

Page: 5

Existing Property Condition Photographs (duplicate as needed)



Detail: BADLY CRACKED SLAB, CENTER



Detail: BADLY CRACKED SLAB, REAR CORNER

Applicant: THOMPSON

Page: 6

Existing Property Condition Photographs (duplicate as needed)



Detail: BADLY CRACKED SLAB, REAR WALL



Detail: BADLY CRACKED SLAB, FRONT WALL

Applicant: THOMPSON

Page: 7